


PROPOSED DUPLEX
50 PROCTOR PARADE, CHESTER HILL NSW 2162

			PROJECT NAME : Proposed Duplex	CLIENT NAME : Tinh Dang	PLOT DATE: 28/02/2023	 abode drafting ABN : 21 003 757 444 P (02) 46 772 489 E mail@abodedrafting.com.au
			DRAWING TITLE : Elevation Front With Shadows	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
			DRAWN BY : JW CHECKED BY : LC	LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq	SOFTWARE: ArchiCad V 24	
				LGA: Canterbury - Bankstown Council ZONE: R2	ISSUE : A	
28/02/2023	FIRST ISSUE	A			SHEET NO : 1 of 15	
DATE	REVISION	ISSUE				



CONSTRUCTION TO BE IN
ACCORDANCE WITH THE N.C.C.
AND RELEVANT AUSTRALIAN
STANDARDS

ALL GENERAL NOTES & BASIX
NOTES MUST BE READ IN
CONJUNCTION WITH THIS PLAN

BOUNDARY SET BACK
DIMENSIONS TO BE VERIFIED
BY SURVEYOR PRIOR TO
WORK COMMENCING

LEGEND	SYMBOL
SMOKE ALARM	S
FLOOR WASTE	FW
EXHAUST FAN	EF
ARTICULATION JOINTS	AJ
DOWN PIPE	D P
DEMOLISHED WALL	==

FLOOR AREAS	SQ M
DWELLING 1 ALFRESCO	25.99
DWELLING 1 BALCONY	4.32
DWELLING 1 FIRST FLOOR	114.42
DWELLING 1 GARAGE	21.46
DWELLING 1 GROUND FLOOR	95.36
DWELLING 1 GROUND FLOOR PORCH	4.21
DWELLING 2 ALFRESCO	25.99
DWELLING 2 BALCONY	4.32
DWELLING 2 FIRST FLOOR	114.42
DWELLING 2 GARAGE	21.44
DWELLING 2 GROUND FLOOR	95.36
DWELLING 2 GROUND FLOOR PORCH	4.21
TOTAL FLOOR AREA	531.50 m²

GROUND
FLOOR PLAN
SCALE 1:100 @ A3

PROJECT NAME :
Proposed Duplex

DRAWING TITLE :
Ground Floor Plan

DRAWN BY : JW CHECKED BY : LC

CLIENT NAME :
Tinh Dang

SITE DETAILS:
50 Proctor Parade, Chester Hill NSW

LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq
LGA: Canterbury - Bankstown Council ZONE: R2

PLOT DATE: 28/02/2023

PROJECT NO: 5727

SOFTWARE: ArchiCad V 24




ISSUE: A

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BOUNDARY SET BACK
DIMENSIONS TO BE VERIFIED
BY SURVEYOR PRIOR TO
WORK COMMENCING



LEGEND	SYMBOL
SMOKE ALARM	 S
FLOOR WASTE	 FW
EXHAUST FAN	 AJ
ARTICULATION JOINTS	AJ
DOWN PIPE	D P
DEMOLISHED WALL	= = =

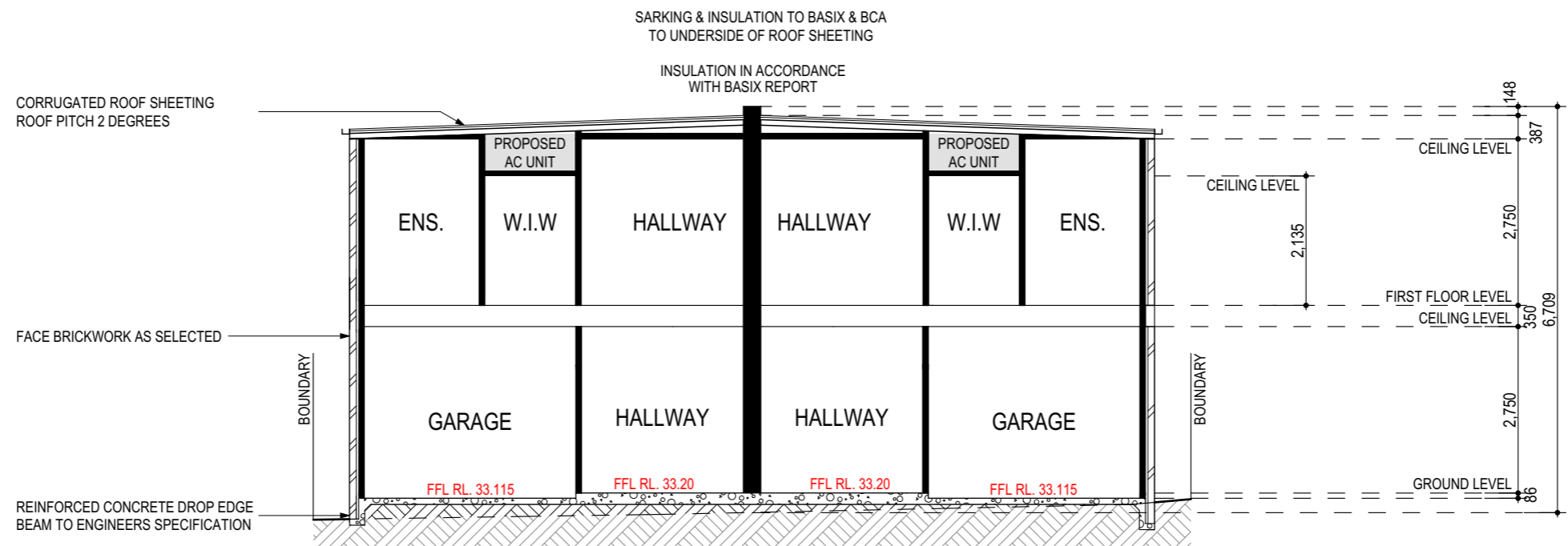
FLOOR AREAS	SQ M
DWELLING 1 ALFRESCO	25.9
DWELLING 1 BALCONY	4.3
DWELLING 1 FIRST FLOOR	114.4
DWELLING 1 GARAGE	21.4
DWELLING 1 GROUND FLOOR	95.3
DWELLING 1 GROUND FLOOR PORCH	4.2
DWELLING 2 ALFRESCO	25.9
DWELLING 2 BALCONY	4.3
DWELLING 2 FIRST FLOOR	114.4
DWELLING 2 GARAGE	21.4
DWELLING 2 GROUND FLOOR	95.3
DWELLING 2 GROUND FLOOR PORCH	4.2
TOTAL FLOOR AREA	531.5 m



GROUND FLOOR PLAN

SCALE 1:100 @ A3

			PROJECT NAME : Proposed Duplex DRAWING TITLE : First Floor Plan DRAWN BY : JW CHECKED BY : LC	CLIENT NAME : Tinh Dang SITE DETAILS: 50 Proctor Parade, Chester Hill NSW LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq LGA: Canterbury - Bankstown Council ZONE: R2	PLOT DATE: 28/02/2023 PROJECT NO: 5727 SOFTWARE: ArchiCad V 24 ISSUE : A SHEET NO : 3 of 15	  ABN : 21 003 757 444 P (02) 46 772 489 E mail@abodedrafting.com.au
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SECTION S/01
SCALE 1:100 @ A3

DOOR SCHEDULE

ID	Door Type/Code	Height	Width	Plan View	Elev. View	Wall Structure
U1 - D1	AA	2,143	1,080			240mm Brick Veneer - Clear
U1 - D1	AA	2,143	1,080			240mm Brick Veneer - Clear
U1 - D2	AA	2,100	4,780			240mm Brick Veneer - Clear
U1 - D3	AA	2,400	2,410			240mm Brick Veneer - Clear
U2 - D2	AA	2,100	4,780			240mm Brick Veneer - Clear
U2 - D3	AA	2,400	2,410			240mm Brick Veneer - Clear

WINDOW SCHEDULE

ID	Window Code	Height	Width	Plan View	Elev. View	Header Height
U1 - W01	AA	2,143	610			2,143
U1 - W02	AA	1,460	2,170			2,143
U1 - W03	AA	600	2,170			1,543
U1 - W04	AA	1,460	1,210			2,143
U1 - W05	AA	1,460	1,570			2,400
U1 - W06	AA	600	2,170			2,143
U1 - W07	AA	600	2,170			2,143
U1 - W08	AA	600	2,170			2,143
U1 - W09	AA	600	850			2,143
U1 - W10	AA	600	850			2,143
U1 - W11	AA	1,460	2,170			2,143

WINDOW SCHEDULE

U2 - W01	AA	2,143	610			2,143
U2 - W02	AA	1,460	2,170			2,143
U2 - W03	AA	600	2,170			1,543
U2 - W04	AA	1,460	1,210			2,143
U2 - W05	AA	1,460	1,570			2,400
U2 - W06	AA	600	2,170			2,143
U2 - W08	AA	600	2,170			2,143
U2 - W09	AA	600	850			2,143
U2 - W10	AA	600	850			2,143
U2 - W11	AA	1,460	2,170			2,143
U2 - W07	AA	600	2,170			2,143

PROJECT NAME :
Proposed Duplex

DRAWING TITLE :
Section, Door & Window Schedule

DRAWN BY : JW CHECKED BY : LC

CLIENT NAME :
Tinh Dang

SITE DETAILS:
50 Proctor Parade, Chester Hill NSW

LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq
LGA: Canterbury - Bankstown Council ZONE: R2

PLOT DATE: 28/02/2023

PROJECT NO: 5727

SOFTWARE: ArchiCad V 24

ISSUE : A

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Technical cross-section diagram of a Hebel PowerPanel wall system, showing its integration with a roof and floor structure.

Roof Structure (Top):

- Bradford Fireseal Party Wall Sealer with 10% compression to fully fill all gaps. See NCC clause 3.7.1.8d(ii)
- Bracket fixed to framing and PowerPanel[®] panel (refer to fixing detail)
- Refer to figure 1.10.3.1
- Insulation as per project specification
- 3000mm max. panel height

Wall Structure (Middle):

- Insulation as per project specification
- Wall brackets each side of PowerPanel[®] panel
- 3000mm max. panel height
- 3000mm max. from bracket to bracket
- Refer to figure 1.10.3.1
- Floor joists may be perpendicular or parallel to wall
- 600mm max. from bracket to joint in PowerPanel[®] panel
- Insulation as per project specification
- Additional noggings and clips required in offset floor level applications
- Insulation as per project specification
- Wall brackets each side of PowerPanel[®] panel
- 3000mm max. panel height
- 2950mm max. from bracket to bracket at ground floor
- Timber or steel framing as per project specifications
- Hebel PowerPanel[®] panel
- Refer to figures 1.10.2.1 to 1.10.2.6 for alternative base connection details
- Separation gap on each side
- Concrete slab

Dimensions and Notes:

- Up to 10,000 max. (Total height)
- Insulation as per project specification
- Floor joists may be perpendicular or parallel to wall

Diagram illustrating the installation of a horizontal panel over a vertical panel, showing the layout, brackets, and the application of a CSR Fissure sealant.

Key components and labels:

- Lay down panel - greater than 600mm**: Dimension indicating the length of the horizontal panel.
- Provide brackets at 600mm spacing**: Dimension indicating the spacing between brackets.
- Refer to figure 1.10.6.1 for Eaves detail**: Reference to another figure for eaves detail.
- Horizontal installed panel**: Label for the panel being installed horizontally.
- Vertical installed panel After Max. 600mm**: Label for the vertical panel section.
- CSR Fissure sealant applied to full length of horizontal control joint from narrowest portion (short edge) of the horizontal panel along to where (horizontal) laid panel height in Min. 600mm (i.e. panel width)**: Description of the sealant application.
- Vertical installed panel**: Labels for the vertical panels on either side of the horizontal panel.

1. Minimum allowed short edge distance of horizontal panel to be minimum 50mm.
2. CSR Fire sealant applied to one side of the joint to achieve FRL of -/60/60 (Refer to figure 1.10.3.5)
3. CSR Fire sealant applied to both sides of the joint to achieve FRL of -/90/90 FRL (Refer to Figure 1.10.3.6)

600mm wide Habel PowerPanel[®] panel (one panel)

Centreline of panel

Wall bracket shall be fixed to panel within a 50mm either side of the centreline of the panel wide central region of the panel

50mm 50mm

Wall brackets are screw fixed to PowerPanel⁵⁰ panel at 600mm centres, within 50mm either side of centreline of each panel. Use fixings specified in Table 1.3.5.

This diagram illustrates the outside end elevation of a roof assembly. It shows a cross-section of the roof structure, including the rafters, the eave lining sheet, and the external cladding. The cladding consists of a central vertical panel (Hebel PowerPanel®) flanked by two side panels (Bradford Fireseal Party Wall Sealer). The central panel is supported by a wall bracket on each side, which is anchored into the rafters. The side panels are supported by a soffit bearer. The entire assembly is shown within a purple outline representing the building's exterior wall.

Labels in the diagram include:

- Bradford Fireseal Party Wall Sealer
- Wall bracket each side of Hebel PowerPanel® panel
- Soffit bearer
- Rafter
- Hebel PowerPanel® panel
- Eave lining sheet

Bradford Fireseal Party Wall Sealer to fully fill all gaps between top of wall and underside of roof covering

Non combustible roofing


Wall bracket each side of PowerPanel[®] panel

Hebel PowerPanel[®] panel

Refer to figure 1.10.4.1 for intertenancy wall to external wall junction detail

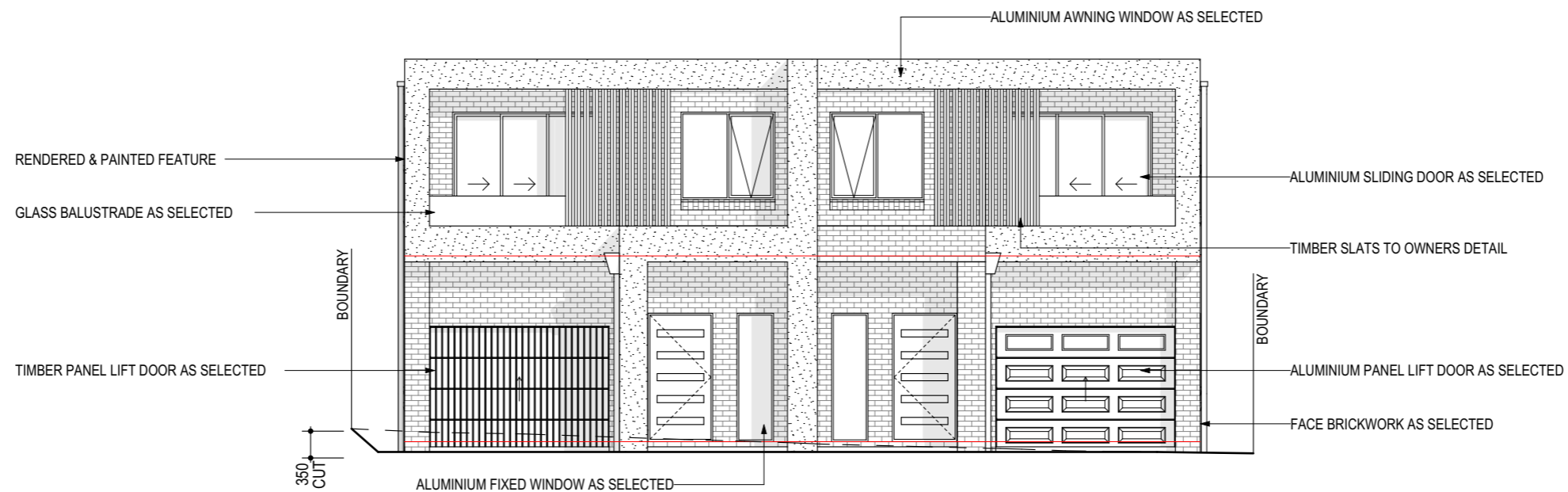
Hebel PowerPanel external wall system as per project specification

Hebel PowerPanel[®] Intertency wall system


			PROJECT NAME : Proposed Duplex DRAWING TITLE : Intertenancy Wall Details DRAWN BY : JW CHECKED BY : LC	CLIENT NAME : Tinh Dang SITE DETAILS: 50 Proctor Parade, Chester Hill NSW LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq LGA: Canterbury - Bankstown Council ZONE: R2	PLOT DATE: 28/02/2023 PROJECT NO: 5727 SOFTWARE: ArchiCad V 24 ISSUE : A SHEET NO : 5 of 15	 <p>abode drafting</p> <p>ABN : 21 003 757 444 P (02) 46 772 489 E mail@abodedrafting.com.au</p>
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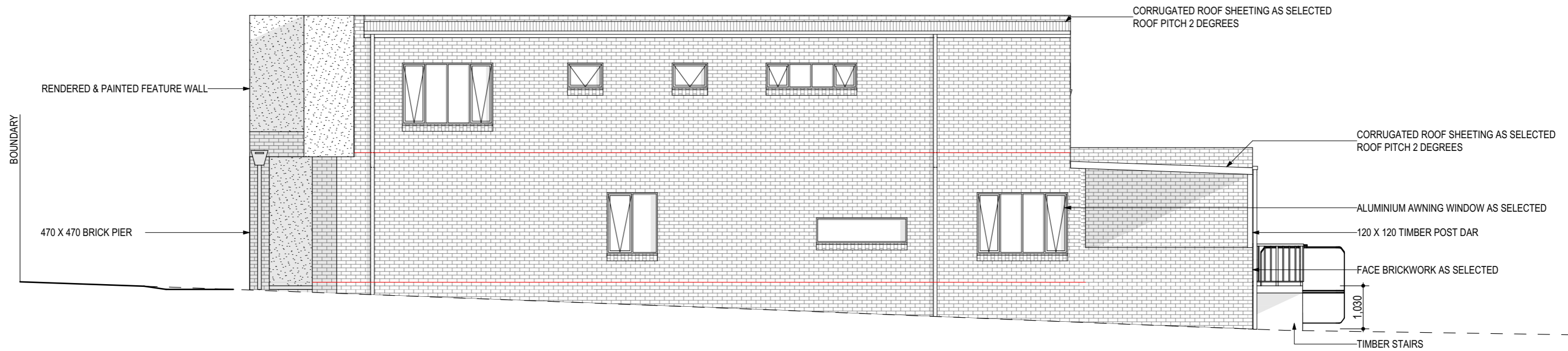


NORTHERN ELEVATION
SCALE 1:100 @ A3

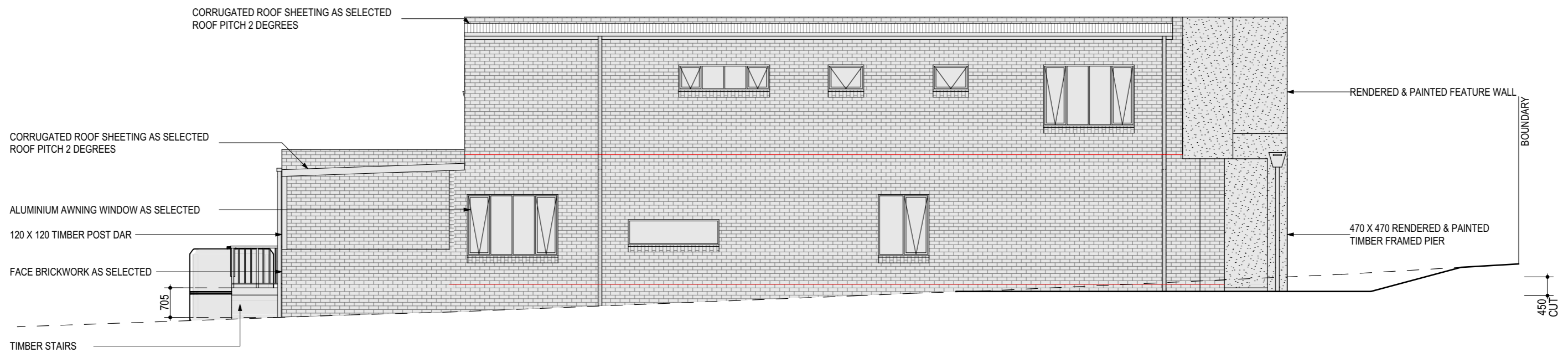


SOUTHERN ELEVATION
SCALE 1:100 @ A3


			PROJECT NAME : Proposed Duplex	CLIENT NAME : Tinh Dang	PLOT DATE: 28/02/2023	
			DRAWING TITLE : Elevations	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
			DRAWN BY : JW CHECKED BY : LC	LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq	SOFTWARE: ArchiCad V 24	
				LGA: Canterbury - Bankstown Council ZONE: R2	ISSUE : A	
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EASTERN ELEVATION
SCALE 1:100 @ A3



WESTERN ELEVATION
SCALE 1:100 @ A3

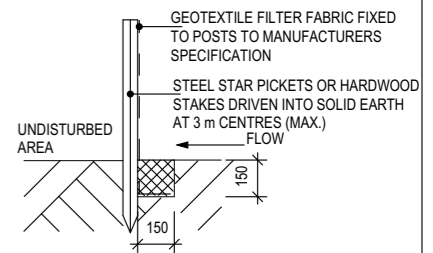
			PROJECT NAME : Proposed Duplex	CLIENT NAME : Tinh Dang	PLOT DATE: 28/02/2023	 abode drafting ABN : 21 003 757 444 P (02) 46 772 489 E mail@abodedrafting.com.au
			DRAWING TITLE : Elevation	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
			DRAWN BY : JW CHECKED BY : LC	LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq	SOFTWARE: ArchiCad V 24	
				LGA: Canterbury - Bankstown Council ZONE: R2	ISSUE : A	
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BOUNDARY SET BACK
DIMENSIONS TO BE VERIFIED
BY SURVEYOR PRIOR TO
WORK COMMENCING

DEVELOPMENT CONTROLS - SINGLE DWELLING HOUSE (BANKSTOWN DEVELOPMENT CONTROL PLAN 2015) - BANKSTOWN DCP				
CONTROLS		REQUIRED	PROPOSED	COMPLIES
SITE AREA 605.8 m ²		80% PER DWELLING	N/A	N/A
PRIVATE OPEN SPACE		80 SQM	80SQM	YES
TWO DWELLINGS FORMING A DUAL OCCUPANCY (ATTACHED)		250 SQM MIN	265.75	YES
MAX STOREYS		TWO STOREYS	TWO STOREY	YES
SETBACKS FROM FRONT B'DY TO NON-CLASSIFIED ROADS GROUND FLOOR		5.5m	5.542m	YES
SETBACKS FROM FRONT B'DY TO NON-CLASSIFIED ROADS 1ST FLOOR		6.5m	7.042m	YES
SETBACKS FROM SIDE BOUNDARIES				
wall height up to 7m		0.9m	0.9m	YES
wall height above 7m		1.5m	m	YES
FILL	max fill	1m	WITHIN BUILDING FOOTPRINT	YES
FILL	max fill	0mm	OUTSIDE BUILDING FOOTPRINT	YES
LANDSCAPING		45% OF THE AREA BETWEEN DUAL OCCUPANCE AND PRIMARY ROAD FRONTAGE PLANT AT LEAST ONE 75 LITRE TREE BETWEEN THE DUAL OCCUPANCY AND PRIMARY ROAD		YES

SITE PLAN NOTES

1. Levels are approx only and should be verified on site prior to construction.
2. All services are to be located by builder prior to commencement of work.
3. Sydney Water approval required prior to commencement of work.
















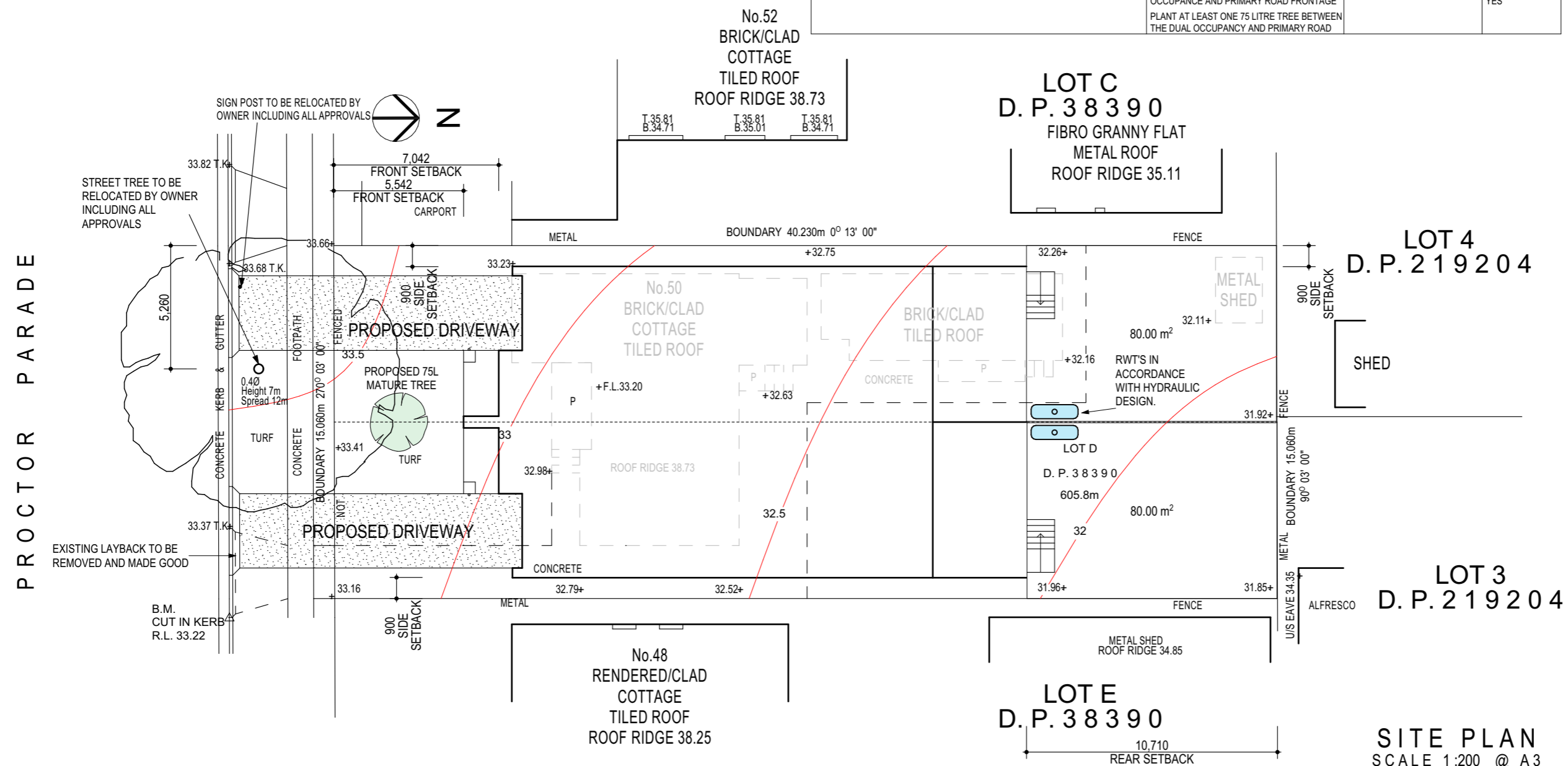
1. SILTATION FENCING IS TO BE PLACED AS SHOWN ON THE SITE PLAN SO AS TO PREVENT SILT RUN OFF TO ANY ADJOINING PROPERTY OR THE STREET. THIS MEASURE IS TO BE PLACED PRIOR TO ANY EXCAVATION WORK AND IS TO BE REMOVED ONLY WHEN THE SITE SURFACE HAS BEEN STABILIZED, IE PAVED, LANDSCAPED OR TURFED.

2. CRUSHED ROCK AGGREGATE (40 mm) IS TO BE PLACED AS AN ACCESS DRIVEWAY TO THE SITE AND MUST BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION


SOIL EROSION AND SEDIMENTATION CONTROL



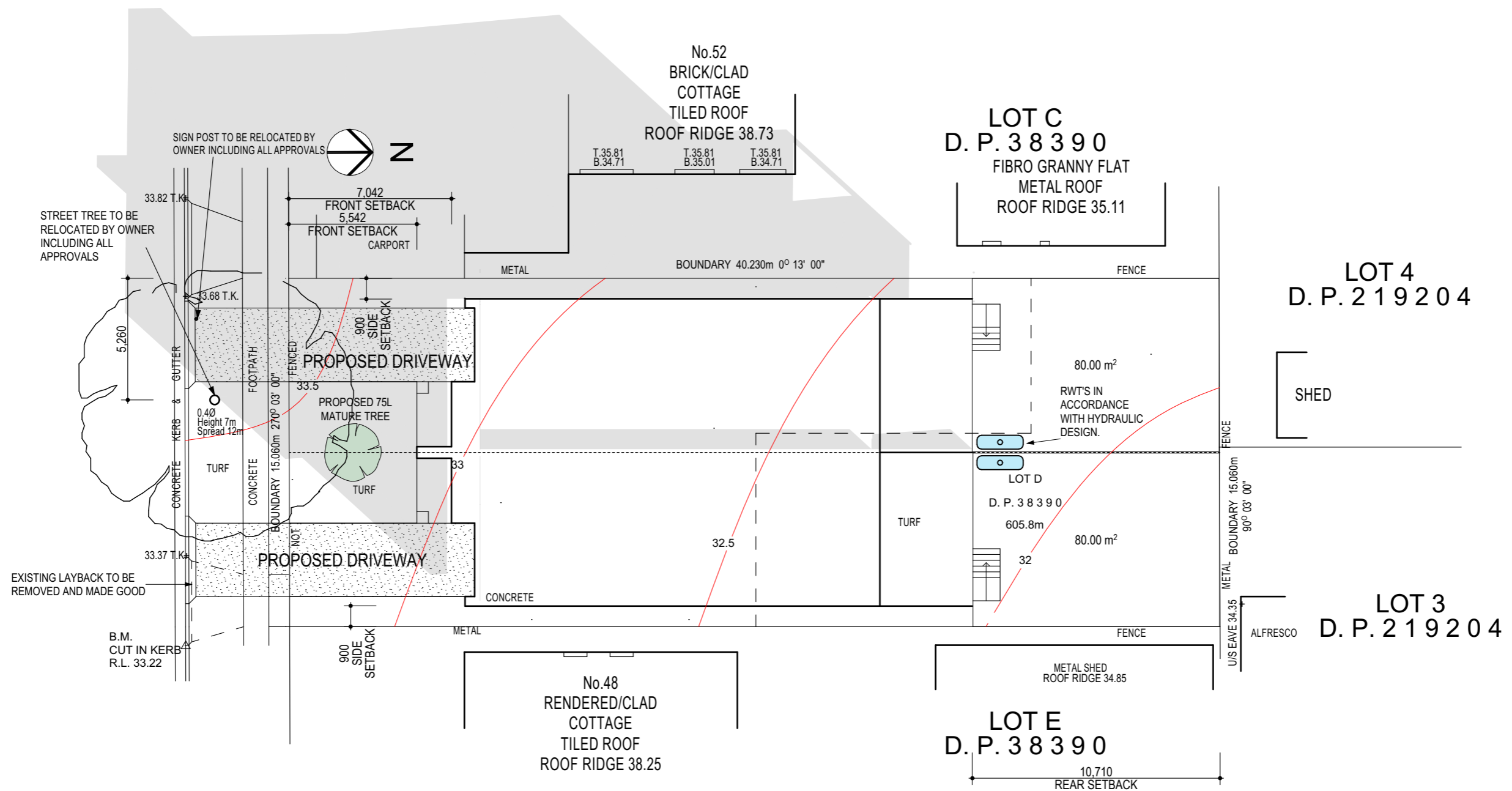
LEGEND	SYMBOL
FENCE	
CONTOUR LINES	
STORMWATER	
SEDIMENT FENCE	
SEWER MAIN	
BENCHMARK	
SEWER MANHOLE	 SMH
WATERTANK	 WT
TELSTRA PIT	
POWER POLE	 PP
EXISTING TREE	
TREE TO BE REMOVED	
PROPOSED TREE	



SITE PLAN
SCALE 1:200 @ A3

			PROJECT NAME : Proposed Duplex DRAWING TITLE : Proposed Site Plan DRAWN BY : JW CHECKED BY : LC	CLIENT NAME : Tinh Dang SITE DETAILS: 50 Proctor Parade, Chester Hill NSW LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq LGA: Canterbury - Bankstown Council ZONE: R2	PLOT DATE: 28/02/2023 PROJECT NO: 5727 SOFTWARE: ArchiCad V 24 ISSUE : A SHEET NO : 8 of 15	 ABN : 21 003 757 444 P (02) 46 772 489 E mail@abodedrafting.com.au
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PROCTOR PARADE



PROJECT NAME :
Proposed Duplex

DRAWING TITLE :
Shadow Diagram 9AM

DRAWN BY : JW CHECKED BY : LC

CLIENT NAME :
Tinh Dang

SITE DETAILS:
50 Proctor Parade, Chester Hill NSW

LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq

LGA: Canterbury - Bankstown Council ZONE: R2

PLOT DATE: 28/02/2023

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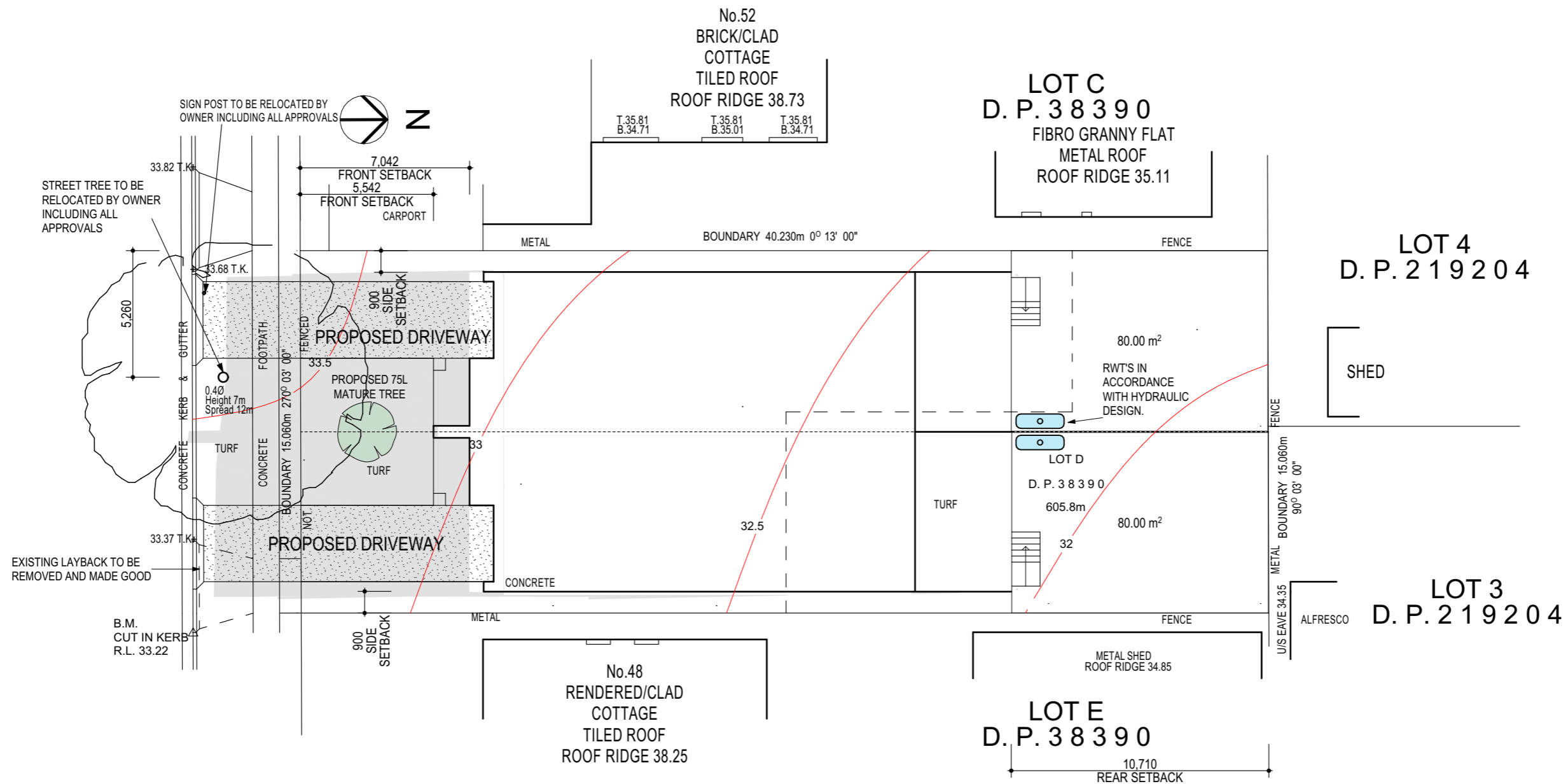
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PROCTOR PARADE



PROJECT NAME :
Proposed Duplex

DRAWING TITLE :
Shadow Diagram 12pm

DRAWN BY : JW CHECKED BY : LC

CLIENT NAME :
Tinh Dang

SITE DETAILS:
50 Proctor Parade, Chester Hill NSW

LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq

LGA: Canterbury - Bankstown Council ZONE: R2

PLOT DATE: 28/02/2023

PROJECT NO: 5727

SOFTWARE: ArchiCad V 24

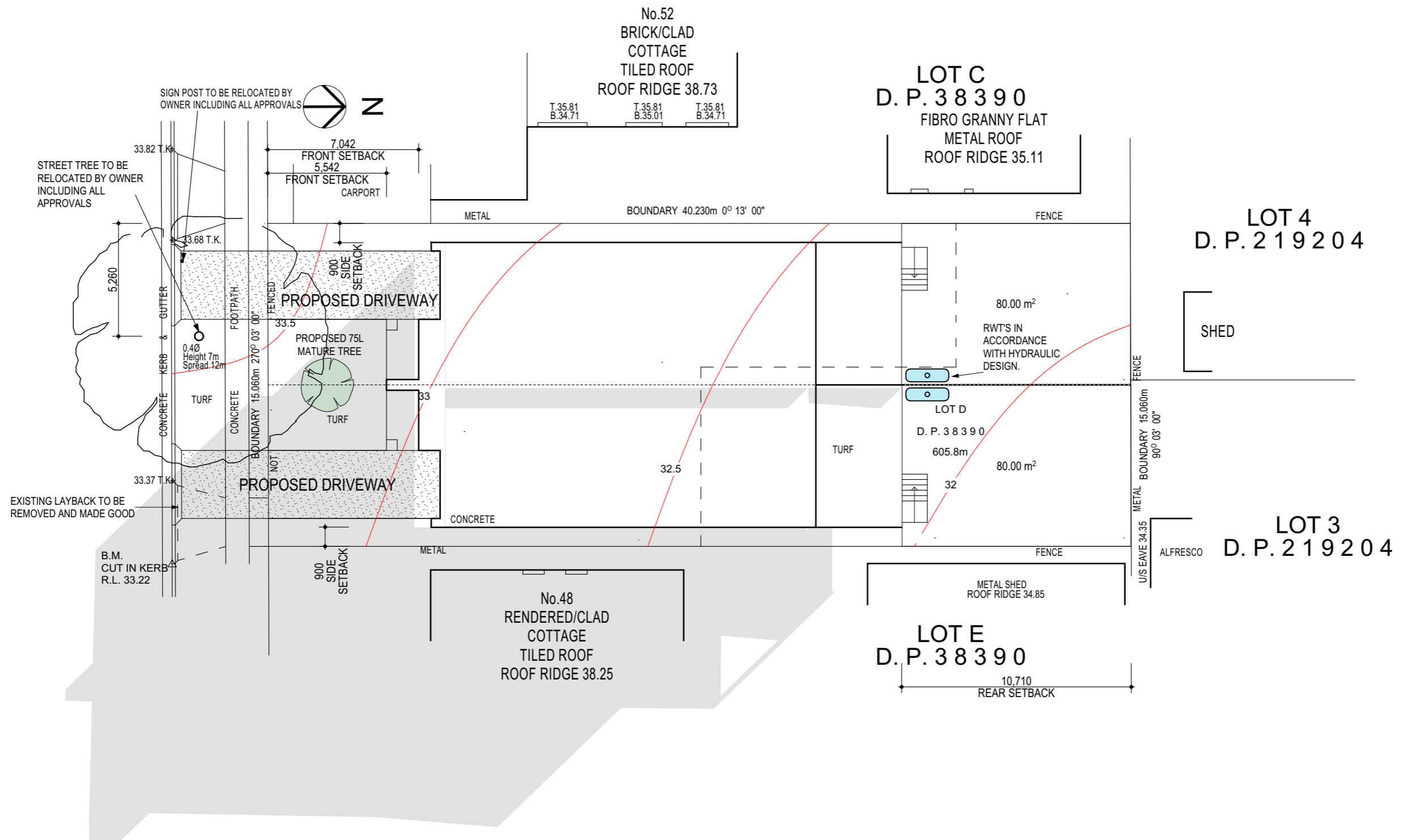
ISSUE: A

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PROCTOR PARADE



PROJECT NAME :
Proposed Duplex
DRAWING TITLE :
Shadow Diagram 3pm

DRAWN BY : JW CHECKED BY : LC

CLIENT NAME :
Tinh Dang
SITE DETAILS:
50 Proctor Parade, Chester Hill NSW

LOT NO: D SECT: - D P NO: 38390 SITE AREA: 605.8 m sq
LGA: Canterbury - Bankstown Council ZONE: R2

PLOT DATE: 28/02/2023
PROJECT NO: 5727
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drafting
ABN : 21 003 757 444
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Single Dwelling

Certificate number: 1352667S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 28 February 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Proctor Parade Unit 1	
Street address	50 Proctor Parade Chester Hill 2162	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 83890	
Lot no.	D	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 45	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by
Name / Company Name: Abode Drafting
ABN (if applicable): 21 003 757 444

Description of project

Project address		Assessor details and thermal loads	
Project name	Proctor Parade Unit 1	Assessor number	n/a
Street address	50 Proctor Parade Chester Hill 2162	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 83890	Area adjusted cooling load (MJ/m².year)	n/a
Lot no.	D	Area adjusted heating load (MJ/m².year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house	Project score	
No. of bedrooms	4	Water	✔ 45 Target 40
Site details		Thermal Comfort	✔ Pass Target Pass
Site area (m²)	606	Energy	✔ 50 Target 50
Roof area (m²)	150		
Conditioned floor area (m2)	181.92		
Unconditioned floor area (m2)	13.18		
Total area of garden and lawn (m2)	107		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 146 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✔	✔
<ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development		✔	✔
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 4.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)

Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

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				DRAWING TITLE : Basix Unit 1	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
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					LGA: Canterbury - Bankstown Council	ZONE: R2	SHEET NO : 12 of 15

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
<ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clear			✔


Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
U1 - D2	2100	4780	aluminium, single, clear	verandah 4000 mm, 2578 mm above base of window or glazed door	not overshadowed
U1 - W06	600	2170	aluminium, single, clear	none	not overshadowed
U1 - W07	600	2170	aluminium, single, clear	none	not overshadowed
East facing					
U1 - W02	1460	2170	aluminium, single, clear	none	not overshadowed
U1 - W03	600	2170	aluminium, single, clear	none	not overshadowed
U1 - W04	1460	1210	aluminium, single, clear	none	not overshadowed
U1 - W08	600	2170	aluminium, single, clear	none	not overshadowed
U1 - W09	600	850	aluminium, single, clear	none	not overshadowed
U1 - W10	600	850	aluminium, single, clear	none	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
U1 - W11	1460	2170	aluminium, single, clear	none	not overshadowed
South facing					
U1 - D1	2143	1080	aluminium, single, clear	verandah 1500 mm, 3000 mm above base of window or glazed door	not overshadowed
U1 - W01	2143	610	aluminium, single, clear	verandah 1500 mm, 3000 mm above base of window or glazed door	not overshadowed
U1 - D3	2400	2410	aluminium, single, clear	eave 1200 mm, 385 mm above head of window or glazed door	not overshadowed
U1 - W05	1460	1570	aluminium, single, clear	eave 200 mm, 385 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, not ducted; Operation control: manual switch on/off		✔	✔
Laundry: individual fan, not ducted; Operation control: manual switch on/off		✔	✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study; dedicatedat least 2 of the living / dining rooms; dedicatedthe kitchen; dedicated		✔ ✔ ✔	✔ ✔ ✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✔ ✔ ✔	✔ ✔ ✔
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

				PROJECT NAME : Proposed Duplex	CLIENT NAME : Tinh Dang	PLOT DATE: 28/02/2023	 P (02) 46 772 489 E mail@abodedrafting.com.au
				DRAWING TITLE : Basix Unit 1	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
				DRAWN BY : JW	CHECKED BY : LC	SOFTWARE: ArchiCad V 24	
28/02/2023	FIRST ISSUE	A			LOT NO: D SECT: - D P NO: 38390	ISSUE : A	
DATE	REVISION	ISSUE			LGA: Canterbury - Bankstown Council	SITE AREA: 605.8 m sq	
					ZONE: R2	SHEET NO : 13 of 15	

Single Dwelling

Certificate number: 1352741S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 28 February 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Proctor Parade unit 2	
Street address	50 Proctor Parade Chester Hill 2162	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 83890	
Lot no.	D	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 45	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by
Name / Company Name: Abode Drafting
ABN (if applicable): 21 003 757 444

Description of project

Project address		Assessor details and thermal loads	
Project name	Proctor Parade unit 2	Assessor number	n/a
Street address	50 Proctor Parade Chester Hill 2162	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 83890	Area adjusted cooling load (MJ/m².year)	n/a
Lot no.	D	Area adjusted heating load (MJ/m².year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house	Project score	
No. of bedrooms	4	Water	✓ 45 Target 40
Site details		Thermal Comfort	✓ Pass Target Pass
Site area (m²)	606	Energy	✓ 50 Target 50
Roof area (m²)	150		
Conditioned floor area (m2)	181.92		
Unconditioned floor area (m2)	13.18		
Total area of garden and lawn (m2)	107		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 146 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentthe cold water tap that supplies each clothes washer in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓ ✓	✓ ✓ ✓

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground	nil			
external wall - brick veneer	1.86 (or 2.40 including construction)			
internal wall shared with garage - plasterboard	nil			
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 4.5 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)		
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

				PROJECT NAME : Proposed Duplex	CLIENT NAME : Tinh Dang	PLOT DATE: 28/02/2023	 abode drafting ABN : 21 003 757 444 P (02) 46 772 489 E mail@abodedrafting.com.au
				DRAWING TITLE : Basix Unit 2	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
28/02/2023	FIRST ISSUE	A		DRAWN BY : JW	LOT NO: D SECT: - D P NO: 38390	SOFTWARE: ArchiCad V 24	
DATE	REVISION	ISSUE		CHECKED BY : LC	SITE AREA: 605.8 m sq	ISSUE : A	
					LGA: Canterbury - Bankstown Council	SHEET NO : 14 of 15	
					ZONE: R2		

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
<ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clear			✔


Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
U2 - D2	2100	4780	aluminium, single, clear	verandah 4000 mm, 2578 mm above base of window or glazed door	not overshadowed
U2 - W07	600	2170	aluminium, single, clear	none	not overshadowed
U2 - W06	600	2170	aluminium, single, clear	none	not overshadowed
South facing					
U2 - D1	2143	1080	aluminium, single, clear	verandah 1500 mm, 3000 mm above base of window or glazed door	not overshadowed
U2 - W01	2143	610	aluminium, single, clear	verandah 1500 mm, 3000 mm above base of window or glazed door	not overshadowed
U2 - W05	1460	1570	aluminium, single, clear	eave 200 mm, 385 mm above head of window or glazed door	not overshadowed
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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
West facing					
U2 - W10	600	850	aluminium, single, clear	none	not overshadowed
U2 - W03	600	2170	aluminium, single, clear	none	not overshadowed
U2 - W11	1460	2170	aluminium, single, clear	none	not overshadowed
U2 - W08	600	2170	aluminium, single, clear	none	not overshadowed
U2 - W02	1460	2170	aluminium, single, clear	none	not overshadowed
U2 - W09	600	850	aluminium, single, clear	none	not overshadowed
U2 - W04	1460	1210	aluminium, single, clear	none	not overshadowed

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The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.	✔	✔	✔
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The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✔	✔
Heating system			
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The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, not ducted; Operation control: manual switch on/off		✔	✔
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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
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				PROJECT NAME : Proposed Duplex	CLIENT NAME : Tinh Dang	PLOT DATE: 28/02/2023	 P (02) 46 772 489 E mail@abodedrafting.com.au
				DRAWING TITLE : Basix Unit 2	SITE DETAILS: 50 Proctor Parade, Chester Hill NSW	PROJECT NO: 5727	
				DRAWN BY : JW	CHECKED BY : LC	SOFTWARE: ArchiCad V 24	
28/02/2023	FIRST ISSUE	A			LOT NO: D SECT: - D P NO: 38390	ISSUE : A	
DATE	REVISION	ISSUE			LGA: Canterbury - Bankstown Council	SITE AREA: 605.8 m sq	
					ZONE: R2	SHEET NO : 15 of 15	